



Addendum No. One

Date: May 31, 2024

RFP No: FY24-805-45 Airport Terminal Building Improvements
AWIP : BHS-TC2/TC4 : A-Wing Offices

This Addendum # 1 to Request for Bids for Airport Terminal Building Improvements AWIP : BHS-TC2/TC4 : A-Wing Offices contains the following responses to bidder inquiries and clarifications or changes to the Bid Documents:

BIDDER INQUIRY RESPONSES:

- 1) " Who is the HVAC controls vendor for the building? "
 - a) The existing building management system is a Johnson Controls Metasys system, and the Airport has used Granite State Automation LLC for modifications/upgrades over time.
 - b) The HVAC work for this project is not anticipated to affect the building management system and any incidental modification to the Metasys system will be performed by the Owner/others.
 - c) Existing thermostats shall be relocated as indicated on the plans, and any new equipment or devices provided shall be compatible with Johnson Controls Metasys system whether to be connected to the system or not.

- 2) " Who is the fire alarm vendor for the building? "
 - a) As indicated on the plans (FA1.100), the fire alarm system is an EST-4 emergency voice evacuation system as manufactured by Edwards Fire Safety.
 - b) This new updated system completed recently (2023) was provided and programmed by R B Allen Co. Inc. and installed by Paquette & Howard Electric Service, Inc.
 - c) The Airport does not have an on-call contracted fire alarm system vendor/contractor.

- 3) " Who handles the fire sprinkler system for the building? "
 - a) The Airport does not have an on-call contracted fire sprinkler system vendor/contractor.
 - b) The Airport has recently utilized Impact Fire Services LLC for various sprinkler system work.

- 4) " Please clarify if the building permit cost is by the owner or GC. "
- a) There is no cost associated with building permits. The Airport is self-jurisdictional for Building Construction and will perform the related inspections.
 - b) Life Safety systems testing and acceptance will be coordinated through the Londonderry Fire Department – Division of Fire Prevention (AHJ) and the Contractor shall be responsible for any related costs for inspections/re-inspections etc.
- 5) " Confirming this project has no wage requirements (Davis Bacon, Prevailing) and is open shop labor? "
- a) This project is not federally funded and does not have wage requirements.
 - b) The project is open-shop labor.
- 6) " Confirming temp utility consumption costs are by the owner. "
- a) There will be no costs billed to the Contractor for temporary utility consumption related to the construction areas or other required operations inside the terminal building.
 - b) If the Contractor chooses to erect a temporary field office (trailer) outside of the terminal building, then the Contractor shall coordinate with the utility companies and set-up and pay for temporary accounts and services as needed.
- 7) " Can a detail be provided for the bollards? "
- a) Bollards to be provided for the protection of the corridor in the Outbound Baggage Make-Up Room shall be commercially available 6" dia x 42" tall schedule 40 steel pipe mounted to a 5/8" (min.) thick 10" x 10" (min.) baseplate with four 3/4" dia. (min.) Boltholes (for 5/8" dia. Conc. anchors), hot dip galvanized finish and provided with yellow 1/4" (min.) thick HDPE plastic slip-on covers with dome top, as available/manufactured by Bollards & Sleeves LLC, 1-800-bollards, Inc., Post Guard/ Encore Commercial Products, Inc., or approved equal.
 - b) Concrete anchors for bollards shall be 5/8" dia (min.) x 6" (min.) embedment hot dip galvanized Simpson Strong-Tie Titen-HD heavy-duty screw anchors or Hilti khc kwik-x or hvu2 epoxy capsule drop-in anchors, or approved equal.

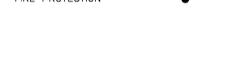
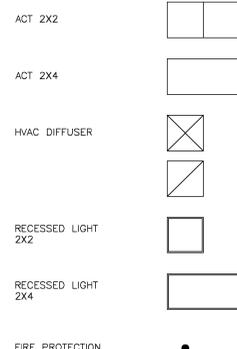
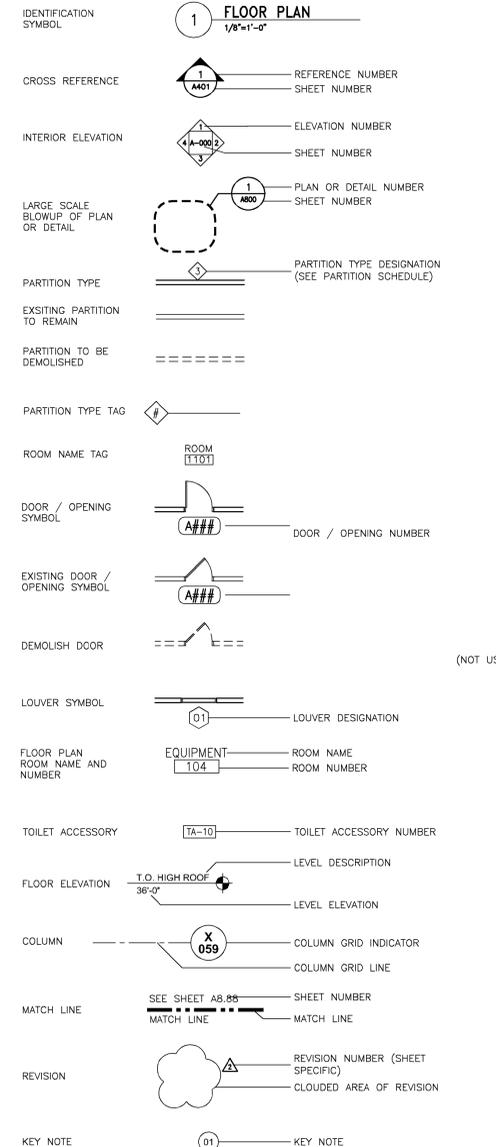
MODIFICATIONS TO BID DOCUMENTS:

- 1) Revised Plan Drawing G1.102-Rev1 attached to this Addendum shall replace the original issued drawing in the Bid Documents.
- 2) See attached 1992 building drawing for reference of general construction of existing light tray to be modified at work area #5 (Product Checkpoint).

ARCHITECTURAL ABBREVIATIONS

AA	AMERICAN AIRLINES	GA	GAUGE	QT	QUARRY TILE
AC	AIR-CONDITIONING	GALV	GALVANIZED	QTY	QUANTITY
ACC	ACCESSIBLE	GC	GENERAL CONTRACTOR	R	RADIUS, RISER
ACQBST	ACQUISITION	GFRC	GYPSUM FIBERGLASS REINFORCED CONCRETE	RB	RESILIENT BASE
ACS	ACCESS CONTROL SYSTEM	GL	GLASS	RCP	REFLECTED CEILING PLAN
ACT	ACOUSTICAL CEILING TILE	GR	GRADE	RD	ROOF DRAIN
ADA	AMERICAN DISABILITY ACT	GWB	GYPSUM BOARD	RE	RESIDENT ENGINEER
AD	AREA DRAIN	H	HIGH	REF	REFERENCE
ADJ	ADJUSTABLE	HB	HOLE, HEIGHT	REG	REGISTER
AE	AMERICAN EAGLE AIRLINES	HC	HOLLOW CORE	REIN	REINFORCED
AFF	AROVE FINISHED FLOOR	HDCP	HANDICAP PERSON	RENOV	RENOVATE(D)
AHU	AIR HANDLING UNIT	HW	HARDWOOD	REQ	REQUIRED
ALUM	ALUMINUM	HDWR	HARDWARE	RESIL	RESILIENT
APPROX	APPROXIMATELY	HGT	HEIGHT	RET	RETURN
ARCH	ARCHITECTURAL/ARCHITECT	HM	HOLLOW METAL	REV	REVISION
ATO	AIRLINE TICKETING OPERATIONS	HORIZ	HORIZONTAL HEATING, VENTILATING AND AIR-CONDITIONING	RIS	RIGID GALVANIZED STEEL
ATTD	ATTACHED	HVAC		RH	RIGHT HAND
BD	BOARD	ID	INSIDE DIAMETER	RWL	RAIN WATER LEADER
BEL	BELOW	INCL	INCANDESCENT	RM	ROOM
BIT	BITUMINOUS	INCLND	INCANDESCENT	RO	ROUGH OPENING
BLDG	BUILDING	INCLD	INCLUDE(D), ING	SC	SOLID CORE
BLK	BLOCK(ING)	INSTL	INSTALLED	SCHED, SCH	SCHEDULE
BM	BEAM	INSUL	INSULATION, INSULATED	SECT	SECTION
BO	BOTTOM	INT	INTERIOR	SEP	SEPARATE
BOT	BOTTOM	INT	INTERIOR	SHT	SHEATHING
BS	BOTH SIDES	JAN	JANITOR	SIM	SIMILAR SPECIFICATIONS
BTWN	BETWEEN	JT	JOINT	SQ	SQUARE
CAB	CABINET	KD	KILN-DRIED	SS	STAINLESS STEEL
CB	CATCH BASIN	KO	KNOCKOUT	STA	STATION
CAC	CONTINUOUS ACCELERATED CONSTRUCTION	L	LONG, LENGTH	STD	STANDARD
CEM	CEMENT	LAB	LABORATORY	STI	SMART TERMINAL INTERFACE
CFCL	CONTRACTOR FURNISHED / CONTRACTOR INSTALLED	LAM	LAMINATE(D)	STL	STEEL
CFL	COMPACT FLUORESCENT LIGHTING	LAV	LAVATORY	STOR	STORAGE
CG	CORNER GUARD	LCC	LEAD-COATED COPPER	STRUC	STRUCTURAL
CIP	CAST-IN-PLACE	LH	LEFT HAND	SUSP	SUSPENDED
CJ	CONTROL JOINT	LP	LOW POINT	SYM	SYMMETRICAL
CL	CENTER LINE	LTG	LIGHTING	T	TREAD
CLG	CEILING	MACH	MACHINE	T&G	TONGUE AND GROOVE
CLNG	CEILING	MAG	WALK THROUGH METAL DETECTOR	TCO	TEMPORARY CERTIFICATE OF OCCUPANCY
CLR	CLEAR(ANCE)	MANUF	MANUFACTURER	TEL	TELEPHONE
CLR OPG	CLEAR OPENING	MAT	MATERIAL	THK	TERRAZZO THICKNESS
CMU	CONCRETE MASONRY UNIT	MAX	MAXIMUM	THRU	THROUGH
COL(S)	COLUMN(S)	MB	MACHINE BOLT	TIX	TICKETING
CONC	CONCRETE	MDO	MEDIUM DENSITY OVERLAY	TO	TOP OF
CONF	CONFERENCE	MECH	MECHANICAL	TOC	TOP OF CURB, TOP OF CONCRETE
CONST	CONSTRUCTION	MED	MEDIUM, MEDIAN	TOS	TOP OF STEEL
CONT	CONTINUOUS	MEMB	MEMBRANE	TOW	TOP OF WALL
CORR	CORRIDOR, CORRUGATED	MIN	MINIMUM	TPD	TOILET PAPER DISPENSER
CPT	CARPET	MISC	MISCELLANEOUS	TV	TELEVISION
CT	CERAMIC TILE	MO	MODULAR	TYP	TYPICAL
CTR	CENTER	MR	MOISTURE RESISTANT	TSA	TRANSPORTATION SECURITY AGENCY
D	DEEP, DEPTH	MTD	MOUNTED	UNF	UNFINISHED
DBL	DOUBLE	MTG	MOUNTING	UON (U.O.N.)	UNLESS OTHERWISE NOTED
DEMO	DEMOLISH/DEMOLITION	MWL	MILLWORK	VB	VAPOR BARRIER
DET	DETAIL	NAT	NATURAL	VCT	VINYL COMPOSITION TILE
DF	DRINKING FOUNTAIN	N.I.C.	NOT IN CONTRACT	VERT	VERTICAL
DI	DIAMETER	NO	NUMBER	VEST	VESTIBULE
DIM	DIMENSION	NOM	NOMINAL	VIF	VERIFY IN FIELD
DIV	SPECIFICATION DIVISION	NTS	NOT TO SCALE	VIN	VINYL
DN	DOWN	OA	OVERALL	VWC	VINYL WALLCOVERING
DO	DOOR OPENING	O.C.	ON CENTER	W	WIDE, WIDTH
DR	DOOR	OCC	OCCUPANT	W/	WITH
DWG	DRAWING	OD	OUTSIDE DIAMETER	WC	WATER CLOSET
EA	EACH	OFI	OWNER FURNISHED / CONTRACTOR INSTALLED	WF	WATER FOUNTAIN
EB	EXPANSION BOLT	OFF	OFFICE	WD	WOOD
EJ, E.J.	EXPANSION JOINT	OPNG	OPENING	WIN	WINDOW
EL	ELEVATION	OPP H	OPPOSITE HAND	WO	WINDOW OPENING
ELEC	ELECTRICAL	OPP	OPPOSITE	W/O	WITHOUT
ELEV	ELEVATOR (EDPM)	ORD	OVERFLOW ROOF DRAIN	WP	WORKING POINT
ENCL	ENCLOSURE	PC	POWER-DRIVEN FASTENER	WPR	WATERPROOF(ING)
EPDM	ETHYLENE PROPYLENE DIENE MONOMER	PERF	PERFORATED	WS	WEATHERSTRIP(ING)
EQ	EQUAL	PERM	PERIMETER	WT	WEIGHT
EQUIP	EQUIPMENT	PRF	PREFORMED	WWF	WELDED WIRE FABRIC
ESC	ESCALATOR	PFN	PREFINISHED		
ETD	EXPLOSIVE TRACE DETECTION	PL	PLATE		
EV	ELEVATOR	PLAS LAM	PLASTIC LAMINATE		
EX	EXISTING	PLAS	PLASTER		
EXEC	EXECUTIVE	PLUMB	PLUMBING		
EXH	EXHAUST	PLYWD	PLYWOOD		
EXIST	EXISTING	PM	PRESSED METAL		
EXP	EXPANSION	POL	POLISHED		
EXT	EXTERIOR	PP	POWER POLE		
FA	FIRE ALARM	PR	PAIR		
FAB	FABRICATE(D)	PT	POINT		
FACP	FIRE ALARM CONTROL PANEL	P-T	PRESSURE-TREATED		
FAST	FASTENER	PTD	PAINTED		
FD	FLOOR DRAIN	PTN	PARTITION		
FDN	FOUNDATION				
FE	FIRE EXTINGUISHER				
FEC	FIRE EXTINGUISHER CABINET				
FHC	FIRE HOSE CABINET				
FIDS	FIGHT INFORMATION DISPLAY SYSTEM				
FIN	FINISH				
FIXT	FIXTURE				
FL	FLOOR				
FLUOR	FLUORESCENT				
FOC	FACE OF CONCRETE				
FOF	FACE OF FINISH				
FOS	FACE OF STUDS				
FP	FIRE PROTECTION				
FRT	FIRE RETARDANT				
FT	FEET / FOOT				
FTG	FOOTING				
FURR	FURRING				

SYMBOLS



FINISH FLOOR PLAN LEGEND

BITUMINOUS CONCRETE PAVEMENT (BCP)	
CARPET (CPT)	
CERAMIC TILE (CT), REFER TO DETAILS	
CONCRETE FLOOR HARDENER/SEALER (CFS)	
ACID RESISTANT RESINOUS (RES)	
RESILIENT FLOOR TILE (RFT)	
FLOOR MAT (FM)	
FLOOR DRAIN (FD)	
TRANSITION	

FINISH FLOOR PLAN & RCP NOTES

1. ALL GYPSUM WALLS NEW OR MODIFIED TO BE PAINTED.
2. ALL GYPSUM WALL BOARD (GWB) SOFFITS AND OR COLUMN CHASES TO BE PAINTED TO MATCH.
3. ALL NEW BASE TO MATCH EXISTING RESILIENT. INSTALL BASE AT EACH SPACE.
4. ALL NEW OR MODIFIED ACOUSTICAL CEILING TILE (ACT) TO MATCH EXISTING AND TO FOLLOW PREEXISTING GRID LAYOUTS, REFER TO ARCH RCP AND INFORM DESIGNER OF ANY DISCREPANCIES PRIOR TO INITIATING WORK OR ORDERING MATERIALS.
5. ALL DOORS AND DOOR FRAMES TO BE PAINTED PER SCHEDULE.
6. NEW INTERIOR STOREFRONT METAL IS TO BE PREFINISHED TO MATCH EXISTING SYSTEMS, SEND TO OWNER FOR APPROVAL.
7. PAINT EXPOSED COLUMNS IN AREA 1 (BREAK-ROOM).
8. AT ALL EXPOSED CEILING; STEEL STRUCTURE, METAL DECK, CONDUITS, SPRINKLER PIPING, HVAC DUCTS, SUPPORTS, MICS. ITEMS AND ETC. TO BE INSPECTED BEFORE COMMENCING ANY WORK.
9. ALL AREAS WITH FLOOR TILE TO RECEIVE MATCH TILE BASE, SEND TO OWNER FOR APPROVAL.
10. GROUT COLOR TO MATCH EXISTING, PENDING OWNER'S APPROVAL.

NOTE: SYMBOL AND MATERIAL GRAPHICS INDICATED ON THIS SHEET ARE REPRESENTATIVE OF THOSE DEPICTED HEREIN. NOT ALL SYMBOL AND MATERIAL GRAPHICS WILL NECESSARILY BE USED.

REVISIONS	
NO.	DESCRIPTION
1	GENERAL NOTE 1.

DATE: 5/31/24
 REVISION: 1

1150 ELM STREET, SUITE 401
 MANCHESTER, NH 03101

AECOM

Manchester-Boston
 REGIONAL AIRPORT

ARCHITECTURAL GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL BUILDING CODES. REFER TO CODE SUMMARY.
2. ALL EXISTING FIREPROOFING TO REMAIN UNDISTURBED. CONTRACTOR TO REPLACE ANY DAMAGED FIREPROOFING SCHEDULED TO REMAIN. REFER TO CODE SUMMARY FOR FIRE RATINGS OF ELEMENTS.
3. CONTRACTOR SHALL CONFORM TO DIVISION 00 - PROCUREMENT AND CONTRACTING REQUIREMENTS AND DIVISION 1 GENERAL REQUIREMENTS OF THE CONTRACT DOCUMENTS
4. CONTRACTOR SHALL VERIFY THAT EXIT EGRESS IS MAINTAINED FOR ALL OCCUPIED AREAS OF THE BUILDING THROUGHOUT THE PROJECT. ALL MOBILIZATION AND PHASING PLANS SHALL IDENTIFY ANY TEMPORARY MODIFICATION TO THE EXISTING EGRESS SYSTEM AND OBTAIN APPROVAL FROM OWNER AND CODE OFFICIAL PRIOR TO ANY WORK. CONTRACTOR TO PROVIDE TEMPORARY SIGNAGE TO IDENTIFY LOCATIONS OF EXITS, RELOCATED EQUIPMENT OR TO IDENTIFY ANY EQUIPMENT OR VERTICAL CIRCULATION ELEMENT OUT OF SERVICE AND TO REDIRECT TO NEAREST AVAILABLE ELEMENT. REFER TO CODE ANALYSIS, EGRESS AND SIGNAGE DRAWINGS. MAINTAIN SIGNAGE OF AND CLEAR AND SAFE PASSAGE TO ALL LIFE SAFETY FEATURES SUCH AS BUT NOT LIMITED TO: FIRE ALARM STATIONS OR PANELS, DEFIBRILLATORS, FIRE HOSE CABINETS OR ANY OTHER LIFE SAFETY FEATURE. MAINTAIN ACCESS TO ALL EXISTING ELECTRICAL AND DATA CLOSETS.
5. CONTRACTOR SHALL FURNISH COVERED CONTAINERS FOR DEBRIS REMOVAL. REMOVAL CONTAINER TO REMAIN COVERED AT ALL TIMES. ANY ON AIRPORT DEBRIS CONTAINERS AND LOCATIONS THEREOF WILL BE APPROVED BY OWNER'S REPRESENTATIVE. REMOVAL OF ANY DEBRIS OR COMBUSTIBLES IS TO OCCUR BY THE END OF EACH SHIFT. CONTAINERS SHALL NOT BLOCK ACCESS OR VISIBILITY OF ANY FIRE OR LIFE SAFETY ELEMENT.
6. ALL PLYWOOD SHALL BE FIRE RETARDANT AND EXTERIOR PLYWOOD SHALL BE PRESSURE TREATED.
7. PROVIDE PORTABLE FIRE EXTINGUISHERS IN AREAS OF WORK PER NFPA 10.
8. THE CONTRACTOR SHALL VISUALLY INSPECT THE PROJECT SITE AND NOTIFY THE AUTHORITY IMMEDIATELY IF ANY WORK INDICATED IN THE CONTRACT DOCUMENTS CANNOT BE PERFORMED DUE TO EXISTING FIELD CONDITIONS.
9. DO NOT SCALE DRAWINGS, ALL DIMENSIONS REFERENCED ON DRAWINGS ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER'S REPRESENTATIVE WITH ANY DIFFERENCES AND OBTAINING CLARIFICATION FROM THE AUTHORITY AND ARCHITECT BEFORE CONTINUING WITH CONSTRUCTION. IT IS EXPECTED THAT THE CONTRACTOR SURVEY ALL EXISTING AREAS AND IMPLEMENT ANY ADJUSTMENTS TO THEIR WORK PLANS SO TO NOT CAUSE DELAY TO THE PROJECT.
10. THE CONTRACTOR SHALL BRACE ALL EXISTING STRUCTURES OR STRUCTURAL OR NONSTRUCTURAL ELEMENTS AS NECESSARY DURING DEMOLITION AND CONSTRUCTION.
11. THE EXISTING BUILDING ENVELOPE SHALL BE MAINTAINED IN A WATER TIGHT CONDITION AT ALL TIMES. PROVIDE PROTECTION BOARD OVER ALL WORK AREAS ON EXISTING ROOF.
12. PROVIDE PROTECTION FOR EXISTING ADJACENT MATERIALS DURING DEMOLITION AND CONSTRUCTION TYPICAL.
13. CONTRACTOR SHALL REPAIR, PATCH AND MATCH EXISTING FINISH OF ANY DAMAGE OCCURING DURING DEMOLITION OR CONSTRUCTION TO EXISTING ADJACENT FLOORS, WALLS, CEILINGS, LIGHTING, FIRE PROTECTION EQUIPMENT ETC THAT IS SCHEDULED TO REMAIN.
14. GENERAL CONTRACTOR SHALL COORDINATE ALL ARCHITECTURAL DEMOLITION AND NEW CONSTRUCTION WITH ALL DISCIPLINES AND RELATED WORK OR OTHER CONTRACTORS HIRED BY THE OWNER TO PERFORM WORK RELATED TO THE PROJECT WORK AREA. NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH WORK.

BUILDING, FIRE AND LIFE SAFETY CODE ANALYSIS:

APPLICABLE CODES:

NEW HAMPSHIRE EXISTING BUILDING CODE (AMENDED)
 ICC A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES, 2009

NEW HAMPSHIRE STATE BUILDING CODE (AMENDED INTERNATIONAL BUILDING CODE (IBC), 2018

NEW HAMPSHIRE STATE FIRE CODE, (AMENDED NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 1, 2018

INTERNATIONAL EXISTING BUILDING CODE (IEBC), 2018

NFPA 101, LIFE SAFETY CODE, 2018

NFPA 13, INSTALLATION OF SPRINKLER SYSTEMS, 2016

NFPA 70, NATIONAL ELECTRICAL CODE, 2017

NFPA 72, NATIONAL FIRE ALARM AND SIGNALING CODE, 2016

NFPA 241, SAFEGUARDING CONSTRUCTION, ALTERATION AND DEMOLITION OPERATIONS, 2013

NFPA 415, AIRPORT TERMINAL BUILDINGS, FUELING RAMP DRAINAGE, AND LOADING WALKWAYS, 2016

CITY OF MANCHESTER, NEW HAMPSHIRE - DEPT. OF AVIATION - FY24-805-45

AIRPORT TERMINAL BUILDING IMPROVEMENTS

AWIP : BHS-TC2/TC4 : A-WING OFFICES

GENERAL ARCHITECTURAL SHEET

PROJECT NO: 60638480-1029

CAD DWG FILE:

DESIGNED BY: AECOM

DRAWN BY: JT

DEPT CHECK: PB

PROJ CHECK: JGC

DATE: 05/24/2024

G1.102

